

RESOLUTION NO. _____

A RESOLUTION OF THE JOHNSON COUNTY, APPROVING THE SALE OF CERTAIN REAL PROPERTY ACQUIRED AT A DELINQUENT TAX FORECLOSURE SALE

WHEREAS, Johnson County, for itself and the use and benefit of Venus ISD and the Hill College acquired title to a certain tract of real estate at a Sheriff's sale held on the 4th day of March, 2014, in Cause No. T201100266 Venus ISD vs. Mitzi Webb; and

WHEREAS, Section 34.05 (a), Texas Property Tax Code, authorizes the Johnson County, by and through its governing body, to resell the property; and

WHEREAS, it is in the best interest of Johnson County and its taxpayers to return this property to a productive use; and

WHEREAS, Nextlots Now, LLC, has made an offer to purchase the property for the sum of Six Thousand two hundred fifty dollars and no cents (\$6,250.00); and offer is attached as EXHIBIT "A"

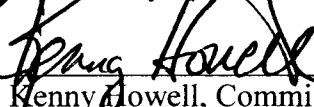
NOW THEREFORE, BE IT RESOLVED BY THE JOHNSON COUNTY COMMISSIONER'S COURT THAT:

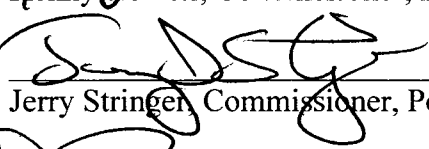
The County Judge is authorized and agrees to sell, convey and transfer that certain tract of real estate acquired at the above described tax sale to Nextlots Now, LLC, for the sum of \$6,250.00, as authorized by Section 34.05, Texas Property Tax Code, and that the proceeds of the sale shall be distributed as provided by section 34.06, Texas Property Tax Code.


Dated this 27th day of May, 2014.


Roger Harmon, County Judge


Rick Bailey, Commissioner, Pct. 1


Penny Howell, Commissioner, Pct. 2


Jerry Stringer, Commissioner, Pct. 3


Don Beeson, Commissioner, Pct.

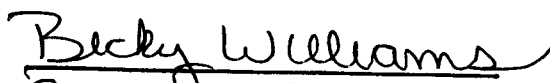

Becky Williams
County Clerk



EXHIBIT "A"

ALVARADO ISD/CITY
BID SHEET FOR RESALE

Date 4-23-2014

Name of Bidder WEST LOTS NOW LLC

Address of Bidder P.O. 870
LANCASTER, TX 75146

Phone Number 214-686-6806

Property Description LOT 89 HOMESTEAD 1/2 ACRE W/ 12' TRAIL W/ 12' 160' 00" TRAIL W/ 12' 160' 00"
126-4460-18490, 126-6644-95316

Street address of property 8721 SALLY'S WAY

Amount of Bid ** \$6250.00

Financial Impact of Bid Acceptance
8721 Sally Way, Venus, Texas 126.6644.95316; 126.4460.18490/T201100266

Proposed Bid \$6,250.00

Costs

Health, Safety and/or Labor Liens	\$	-
Publication Fees	\$	(67.00)
Ad Litem Fees	\$	-
Court Costs Due District Clerk	\$	(733.00)
Sheriffs Levy/Execution	\$	(400.00)
Miscellaneous Fees Perdue Brandon	\$	(150.00)
Sheriffs Deed Fee	\$	(34.00)
Amount Left to Apply to Tax	\$	4,866.00

		Delinquent Taxes	Ratio of Total
Venus ISD	\$	12,059.87	74.07%
Hill College	\$	288.67	1.77%
Johnson County	\$	3,932.24	24.15%
Total Taxes	\$	16,280.78	100.00%

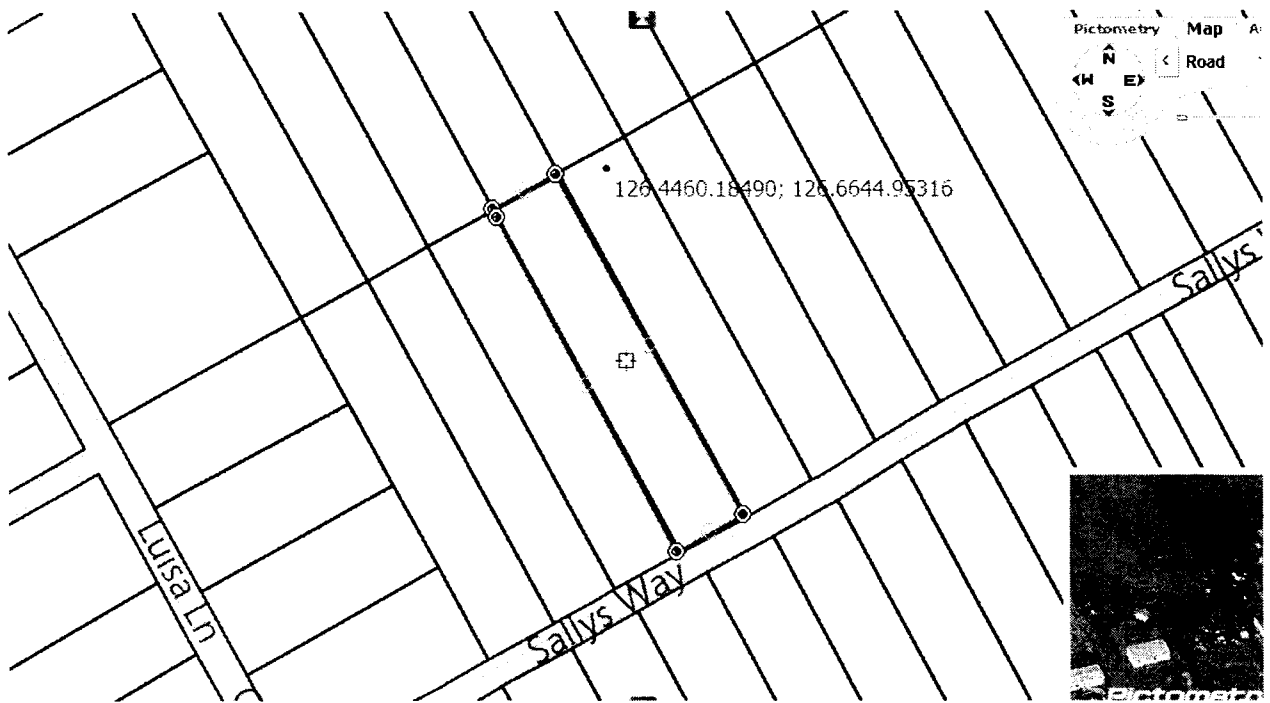
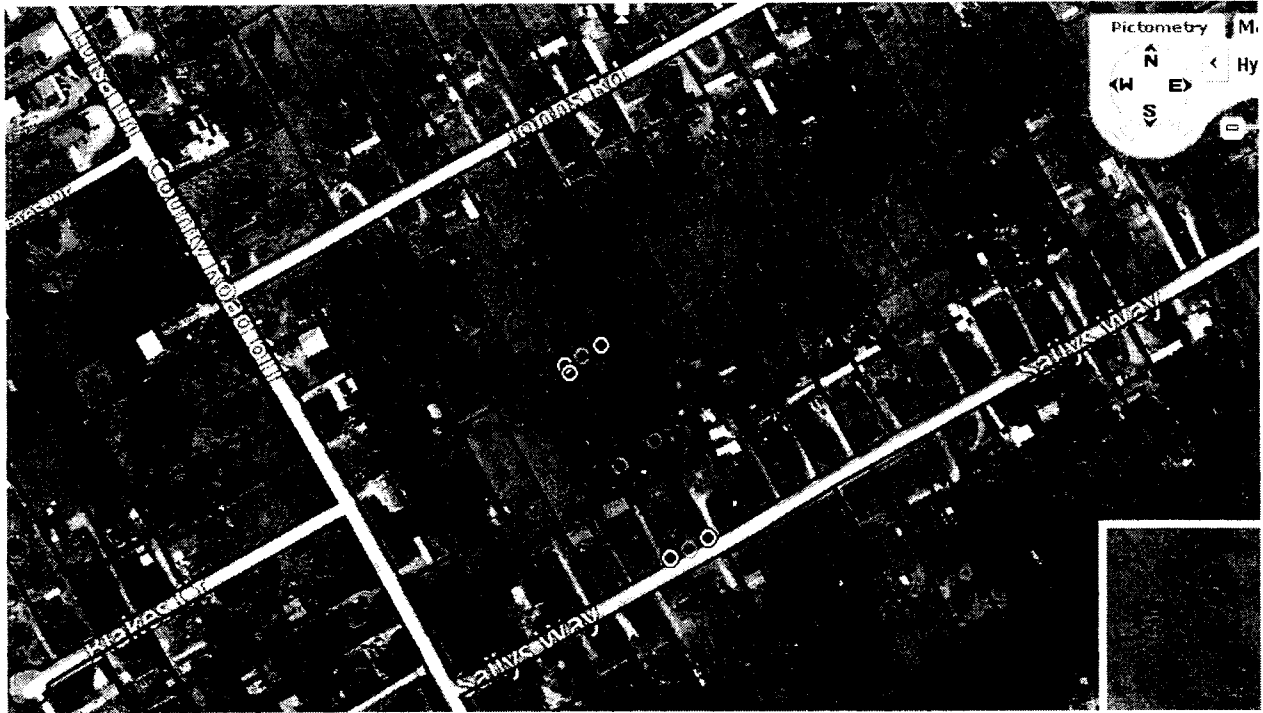
Amounts Realized if Bid Accepted

Venus ISD	\$4866 * 0.7407 =	\$ 3,604.45
Hill College	\$4866 * 0.0177 =	\$ 86.28
Johnson County	\$4866 * 0.2415 =	\$ 1,175.27
Total		\$ 4,866.00

Amounts Extinguished if Bid Accepted

Venus ISD	\$12059.87 - \$3604.45 =	\$ (8,455.42)
Hill College	\$288.67 - \$86.28 =	\$ (202.39)
Johnson County	\$3932.24 - \$1175.27 =	\$ (2,756.97)

Appraised Value \$20,588.00



Account Details for 126.4460.18490

Ownership

Owner Name: Webb Mitzi

Owner Address: 1013 Williams Ave,
Cleburne, TX
760335256

Property Location: 8721 Sallys WAY

Ownership Interest: 1.000000

Description: LOT 49
BLK I
HOMESTEADS
PHASE IX
126.6644.95316

Deed Date: 1998-10-06

Deed Type: Unassigned

Page #: 00639

Volume #: 02240

Instrument #:

Exemptions

Tax Entities

- Johnson
County
- Venus ISD
- Hill College
VES
- Lateral
Road
- Johnson Co

ESD#1

Venus Fire

Dept

Improvement State Code:

Land State Code:

C3 - Rural^ Vacant
Lots/Tracts - Mostly
Resi

Productivity State Code:

GEO Num:

126.4460.18490

Last Update:

Mar 11 2014
1:31PM

Value

Improvement Value

\$0

Land Market Value:

\$13,020

AG Market Value:

\$0

AG Value:

\$0

Prod Loss:

\$0

Total Market Value:

\$13,020

Appraised Value:

\$13,020

Land Acres

.9300

Impr Area Size

0

Year Built

0

Appraisal History +

